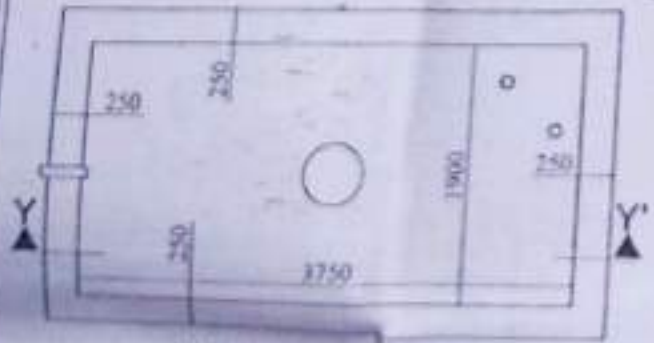
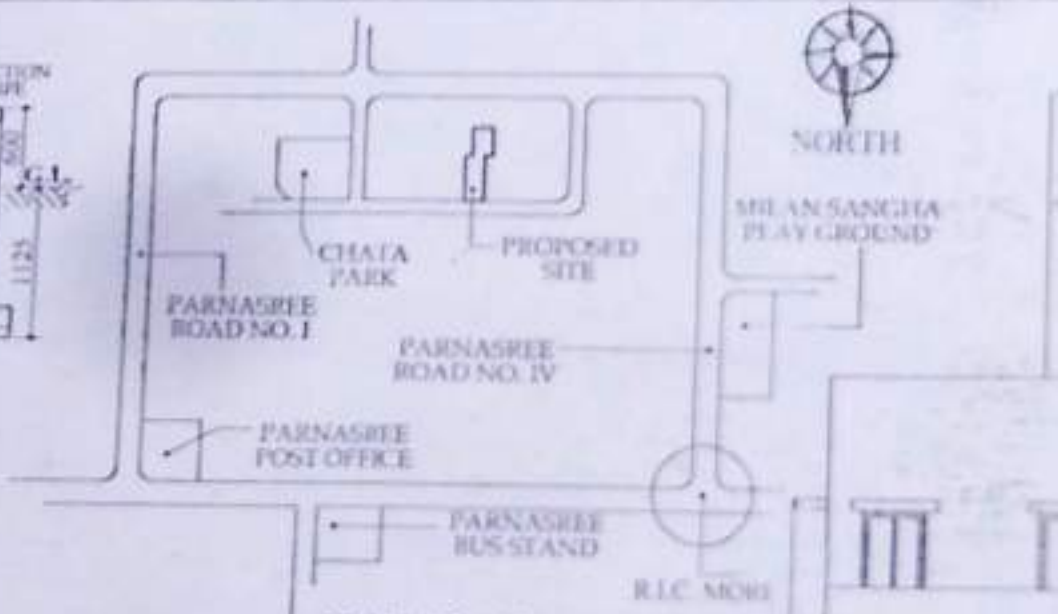


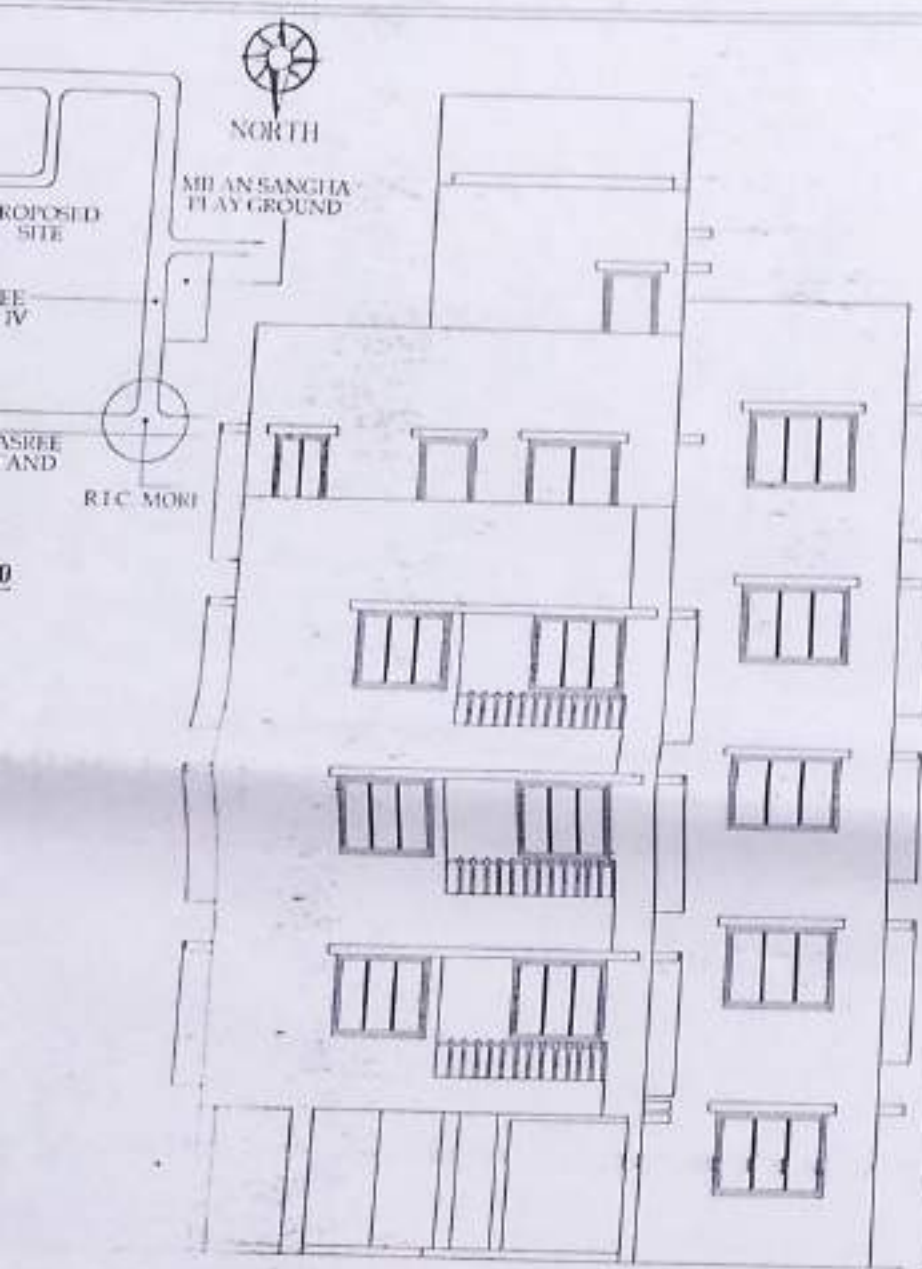
SECTION AT Y-Y
SCALE :- 1:50



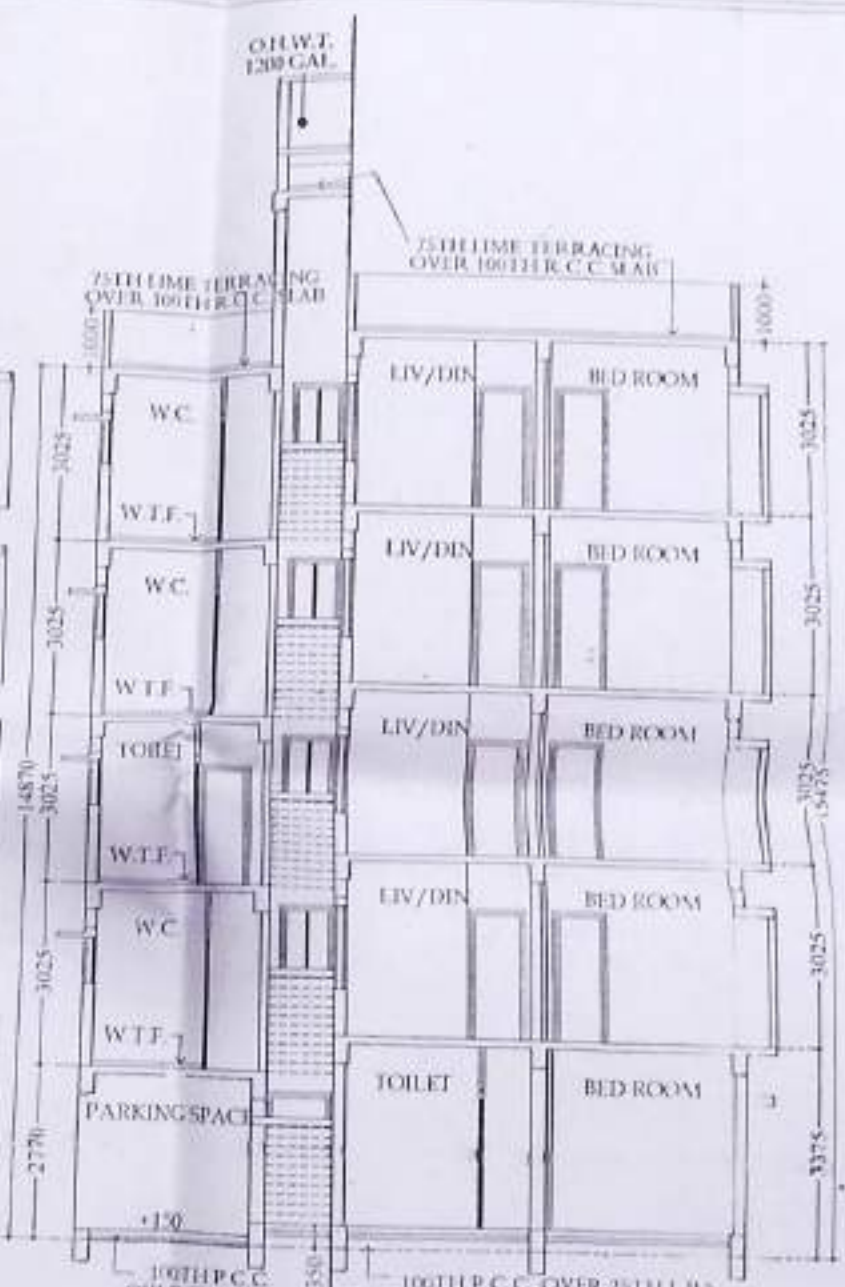
PLAN OF S.U.M. WATER RESERVOIR
CAP- 5500 LTRS.
SCALE :- 1:50



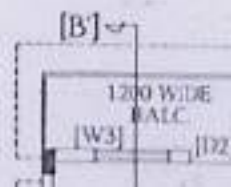
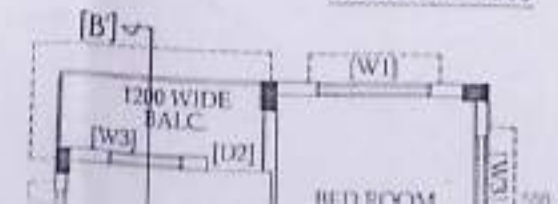
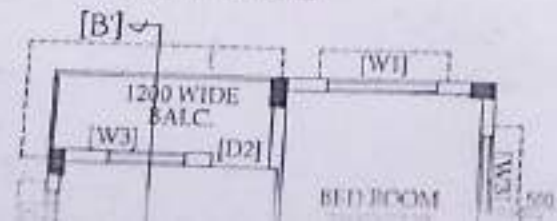
KEY PLAN
SCALE :- 1:4000

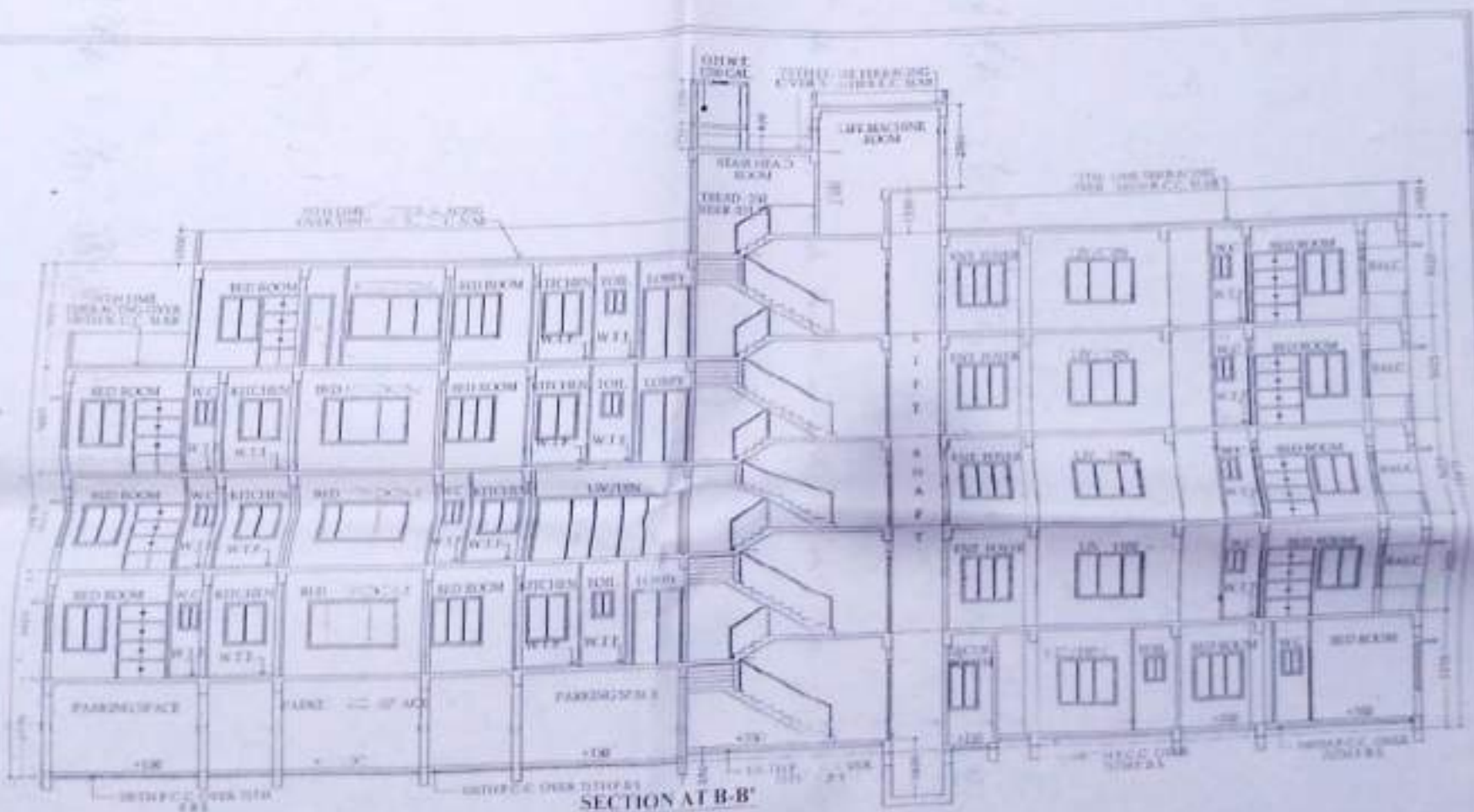


FRONT ELEVATION
SCALE :- 1:100

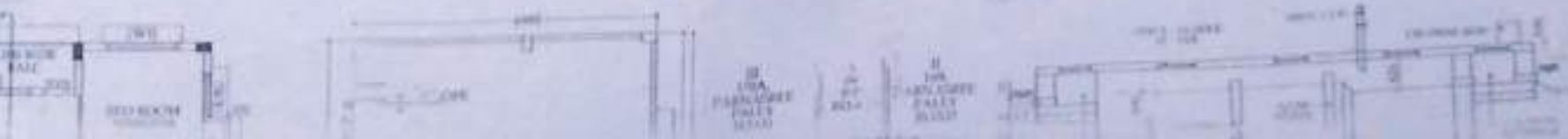


SECTION AT A-A'
SCALE :- 1:100



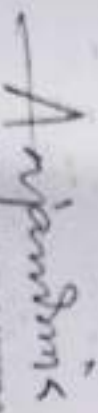


SECTION AT B-B'
SCALE: 1/100



CERTIFICATE OF ARCHITECT :

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES - 2009, AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD 7.58M MAINTAINED BY K.M.C. CONFORM WITH THE PLAN. WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILD ABLE SITE & NOT A TANK OR FILLED- UP TANK. THERE IS AN EXISTING STRUCTURE TO BE DEMOLISHED. BEFORE COMMENCEMENT WHICH IS FULLY OCCUPIED BY THE OWNER AND TENANT. THE PLOT IS BOUNDED BY BOUNDARY WALLS. THE CONSTRUCTION OF SUG. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.



ANJAN DUTTA

B. ARCHITECT (A) / IIA
REGISTERED WITH COUNCIL
OF ARCHITECTS
REGD NO. CA93/16409
APP. NUMBER F-1597
202/CL NO. 267(A)

ANJAN DUTTA

REGD. NO. CA93/16409 K.M.C. SL. NO. 267(A)

SIGNATURE OF ARCHITECTCERTIFICATE OF STRUCTURAL ENGINEER :

THE STRUCTURAL DESIGN & DRAWING OF WITH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS BEEN PREPARED BY ME CONSIDERING ALL POINTS & LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECTS. SOIL TEST HAS BEEN DONE BY MRS. BHASKARYOTI ROY OF SOIL TECH. ADDRESS - 200/602, THE RECOMMENDATION OF SOIL TEST HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATION.



BHASKARYOTI ROY

B. E. M.E., M.I.E.S.
Chartered Engineer
Engagement No. A/167 (K.M.C.)

BHASKARYOTI ROY

EMPANELMENT NO. - 1/167(K.M.C.)

SIGNATURE OF STRUCTURAL ENGINEER

SCALE :- 1:100

CERTIFICATE OF GEO-TECHNICAL ENGINEER :

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.



BHASKAR JYOTI ROY
B.C.E, M.I.E, M.I.G.S.
Chartered Engineer
The Kolkata Municipal Corpn.
Empanelment No.- G.T./II/4
Empanelment No.-G.T.-II/20 (R.S.M)
Empanelment No. GTER/NKDA/10/00030
Consulting Geotechnical Engineer

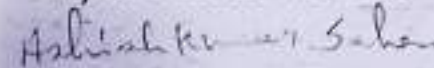
BHASKARJYOTI ROY
EMPANELMENT NO. -G.T./II/4 (K.M.C.)
SIGNATURE OF GEO TECHNICAL ENGINEER

SCALE :- 1:100

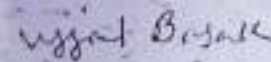
OWNER DECLARATION :

I / WE SHALL ENGAGE L.B.A. & E.S.E. DURING CONSTRUCTION I / WE SHALL FOLLOW THE INSTRUCTION OF L.B.A. & E.S.E. DURING CONSTRUCTION OF THE BUILDING AS PER (B.S.PLAN) K.M.C. AUTHORITY WILL NOT RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR WILL BE UNDERTAKEN UNDER THE GUIDANCE OF E.S.E. & L.B.A. BEFORE STARTING OF BUILDING FOUNDATION WORK.

M/s. REAL GROUP



Partner



Constituted Attorney of
Kalyan Roy
Ruma Chakraborty

M/S. REAL GROUP, PRO- ASHIS KUMAR SAHA, SUMANTA ROY & UJJAL BASAK CONSTITUTE ATTORNEY OF KALYAN ROY & RUMA CHAKRABORTY
SIGNATURE OF OWNERS

4TH FLOOR PLAN

ROOF PLAN

EXISTING BUILDING PLAN

SCALE : 1:100

SCALE : 1:100

STIPPECATION :

1. SLOPE DRAIN (KALANI) CONCRETE AND GRADE WITH 10MM DOWN
2. GRADE OF ROOF CONCRETE - 100
3. 2000 FIRST CLASS BRICKWORK AT EXTERNAL WALLS WITH 1:6
4. CLEAR FINISH MORTAR (W/LESS OTHER DOWN MENTIONED)
5. 100 FIRST CLASS BRICKWORK AT INTERNAL WALLS WITH 1:6
6. CLEAR FINISH MORTAR (W/LESS OTHER DOWN MENTIONED)
7. STAIRING BRICKWORK (27) ON ROOF
8. STAIRING BRICKWORK (27) ON ROOF
9. ALL DIMENSIONS ARE IN MILLIMETER
10. 2500 D.P.C. WITH CEMENT CONCRETE (1:2:4) WITH 6 MM DOWN
11. STAIR CURB & 25 WATER PROOFING COMPOUND
12. 100MM THICK CEMENT PASTER (1:3) TO THE EXTERNAL WALLS
13. 12000 THICK CEMENT PASTER (1:3) TO THE INTERNAL WALLS
14. 60MM THICK CEMENT PASTER (1:3) TO THE AM, CHILING, ETC.
15. 12MM THICK CAST IRON SINKABLE FLOOR.
16. WOOD WORK IN DOOR FRAMES WITH SAI WOOD.
17. 2000MM X 25MM X 6MM SLASH FOR DOORS & WINDOWS.
18. KANSOLAK & PLUMBING FITTINGS TO BE USED AS PER DIRECTION.
19. WITH IN COMMISSION - BE TO BE FOLLOWED
20. 45MM G.I. DRAIN PROTECTION.
21. 100MM G.I. DRAIN NO. RESERVOIR AND SURFACE TANK
22. DOORS NOT EXCITED THE DEPTH OF THE FOUNDATION.

NO.	SIZE	LENGTH	SQ. FT.	REMARKS
D1	1200X2100	2100	-	-
D2	1700X2100	2100	-	-
D3	500X2100	2100	-	-

SCHEDULE OF WINDOWS

W1	1500X1350	2100	750	-
W2	1700X1350	2100	750	-
W3	1700X1200	2100	900	-
W4	1600X1350	2100	1350	-
W5	600X750	7100	1350	-

PLAN OF A PROPOSED G+4V STORED RESIDENTIAL BUILDING U/S 393A OF K.M.C. ACT 1980 COMPLYING K.M.C. BUILDING RULE 2009 (AMENDED) AT PREMISES NO. 118, SARAT CHATTERJEE ROAD, WARD NO. - 131, BOROLGH - XIV, UNDER K.M.C. KOLKATA - 700060, P.S. - PARNASREE, DIST. - 24 PARGANAS (SOUTH).

OWNER'S NAME: KALYAN ROY & RUNA CHAKRABORTY



THE SANCTION IS VALID UP TO 12/12/2015...

As noted subject explanation...
 27. If existing structure to have...
 28. Space as per plan...
 29. Construction is started.

APPROVED
 ASSISTANT ENGINEER (C)
 BOROLGH NO. 131

OFFICE SEAL

NOTE:

NO. FROM A.A. DATE D : 21.07.2018
 SITE ID : BH/EA/AST/00718/R/3/19641
 SITE ELEVATION IN METERS ASHT : 41.5M
 PERMISSIBLE TOP ELEVATION ON METER : 41.5M
 MEAN SEA LEVEL (AMSL) : 24.15M

250

PLAN OF SEPTIC TANK (50 USERS)

SCALE :- 1:50

STATEMENT OF PLAN PROPOSAL

PART - A:

- ASSESSEE NO. :- 411311701180
- DETAILS OF DEED :-
BOOK NO. - I, VOLUME NO. - 63, PAGES - 1 to 12, BEING NO. - 3671,
YEAR - 1985, DATED : 15.3.1985, OFFICE - D.S.R. ALIPORE, SOUTH 24
PARGANAS
- DETAILS OF DEED :-
BOOK NO. - I, VOLUME NO. - 335, PAGES - 119 to 132, BEING NO. -
14751, YEAR - 1985, DATED : 11.10.1985.
- DETAILS OF GIFT DEED :-
BOOK NO. - I, VOLUME NO. - 1607-2018, PAGES - 134223 to 134249,
BEING NO. - 160704220, YEAR - 2018, DATED : 08.05.2018, OFF. - A.D.S.R.
BEHALA, WEST BENGAL.
- DETAILS OF GIFT DEED :-
BOOK NO. - I, VOLUME NO. - 1607-2019, PAGES - 187153 to 187175,
BEING NO. - 160705945, YEAR - 2018, DATED : 10.06.2019,
OFFICE - :- D.S.R. BEHALA, WEST BENGAL.:-
- DETAILS OF GIFT DEED :-
BOOK NO. - I, VOLUME NO. - 1607-2019, PAGES - 187176 to 187198,
BEING NO. - 160705946, YEAR - 2019, DATED : 10.6.2019,
OFFICE - :- D.S.R. BEHALA, WEST BENGAL.
- DETAILS OF POWER ATTORNEY :-
BOOK NO. - I, VOLUME NO. - 1607-2019, PAGES - 187620 to 187652,
BEING NO. - 160705957, YEAR - 2019, DATED : 10.06.2019, OFF. :-
A.D.S.R. BEHALA, WEST-BENGAL.
- DETAILS DEED OF BOUNDARY DECLARATION :-
BOOK NO. - I, VOLUME NO. - 1607-2019, PAGES - 266034 to 266056,
BEING NO. - 160708389, YEAR - 2019, DATED : 06.8.2019, OFFICE -
A.D.S.R. BEHALA, WEST BENGAL.
- DETAILS DEED OF NON EVICTION OF TENANT :-
BOOK NO. - I, VOLUME NO. - 1607-2019, PAGES - 266012 to 266033,
BEING NO. - 160708390, YEAR - 2019, DATED : 06.8.2019, OFFICE -
A.D.S.R. BEHALA, WEST BENGAL.
- LAND AREA AS PER DEED :-
07K - 05CH - 10SFT (490.013 SQM)
- NO. OF STORIES INCLUDING BASEMENT IF ANY :- G+IV
- SIZE OF TENEMENT :-
BELOW 50 SQM - 1 NO., 50 SQM to 75 SQM - 5 NOS. &
75 SQM to 100 SQM - 8 NOS.

PART - B:

- AREA OF LAND AS PER BOUNDARY DECLARATION :-
07K - 05CH - 10SFT (490.013 SQM)
- PERMISSIBLE GROUND COVERAGE :-
50.333 % (246.638 SQM)

- NO. OF STORIES INCLUDING BASEMENT :-
- SIZE OF TENEMENT :-
BELOW 50 SQM - 1 NO., 50 SQM to 75 SQM - 5 NOS. &
75 SQM to 100 SQM - 8 NOS.

PART - B:

- AREA OF LAND AS PER BOUNDARY DECLARATION :-
07K - 05CH - 10SFT (190.013 SQM)
- PERMISSIBLE GROUND COVERAGE :-
50.333 % (246.638 SQM)
- PROPOSED GROUND COVERAGE :-
50.284 % (246.400 SQM)
- PROPOSED HEIGHT :- 15.475 M.

FLOOR	RESIDENTIAL (M2)	STAIR CARPET (M2)	LIFT LOBBY (M2)	LIFT WELL (M2)	STAIR WELL (M2)	NET COVER AREA (M2)	GROSS FLOOR AREA (M2)
GROUND	218.670	13.028	3.000	----	----	202.642	218.670
FIRST	246.400	13.028	3.000	1.800	2.100	226.472	242.500
SECOND	246.400	13.028	3.000	1.800	2.100	226.472	242.500
THIRD	246.400	13.028	3.000	1.800	2.100	226.472	242.500
FOURTH	223.127	13.028	3.000	1.800	2.100	203.199	219.227
TOTAL	1180.997	65.140	15.000	7.200	8.400	1085.257	1165.397

TENEMENT CALCULATION:

FLAT MKD	TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL AREA OF TENEMENT	NO. OF TENEMENT
FLAT - A	50.143 M2	7.979 M2	58.122 M2	1 NO.
FLAT - B	29.112 M2	4.632 M2	33.744 M2	1 NO.
FLAT - C	85.279 M2	13.569 M2	98.848 M2	4 NOS.
FLAT - D	52.773 M2	8.397 M2	61.170 M2	3 NOS.
FLAT - E	76.321 M2	12.144 M2	88.465 M2	2 NOS.
FLAT - F	64.789 M2	10.309 M2	75.098 M2	1 NO.
FLAT - G	65.070 M2	10.354 M2	75.424 M2	1 NO.
FLAT - H	53.048 M2	8.441 M2	61.489 M2	1 NO.

- REQUIRED CAR PARKING :- 5 NOS.
- PROVIDED CAR PARKING :- 6 NOS. (COV.)
- CAR-PARKING AREA REQUIRED :- 125 SQM
- EFFECTIVE CAR-PARKING AREA :- 105.690 SQM
- PERMISSIBLE F.A.R. :- 2.00
- PROPOSED F.A.R. :- 1.999
- OPEN TERRACE IV AREA :- 23.273 SQM
- OPEN TERRACE V AREA :- 223.127 SQM
- STAIR-HEAD ROOM AREA :- 17.730 SQM
- ROOF TANK AREA :- 7.560 SQM
- LIFT MACHINE ROOM AREA :- 8.887 SQM
- CUPBOARD AREA :- 19.65 SQM
- TOTAL EXEMPTED AREA :- 80.140 SQM

FRONT ELEVATION
SCALE: 1:100

SECTION AT A-A
SCALE: 1:100

NOTE: ALL DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE



TYPICAL FLOOR PLAN (1ST, 2ND)
NO. OF TENEMENT PER FLOOR: 3 NOS.
SCALE: 1:100



2ND FLOOR PLAN
NO. OF TENEMENT PER FLOOR: 3 NOS.
SCALE: 1:100



4TH FLOOR PLAN
NO. OF TENEMENT PER FLOOR: 3 NOS.
SCALE: 1:100

REGISTERED ENGINEER

CERTIFICATE OF GEO-TECHNICAL ENGINEER

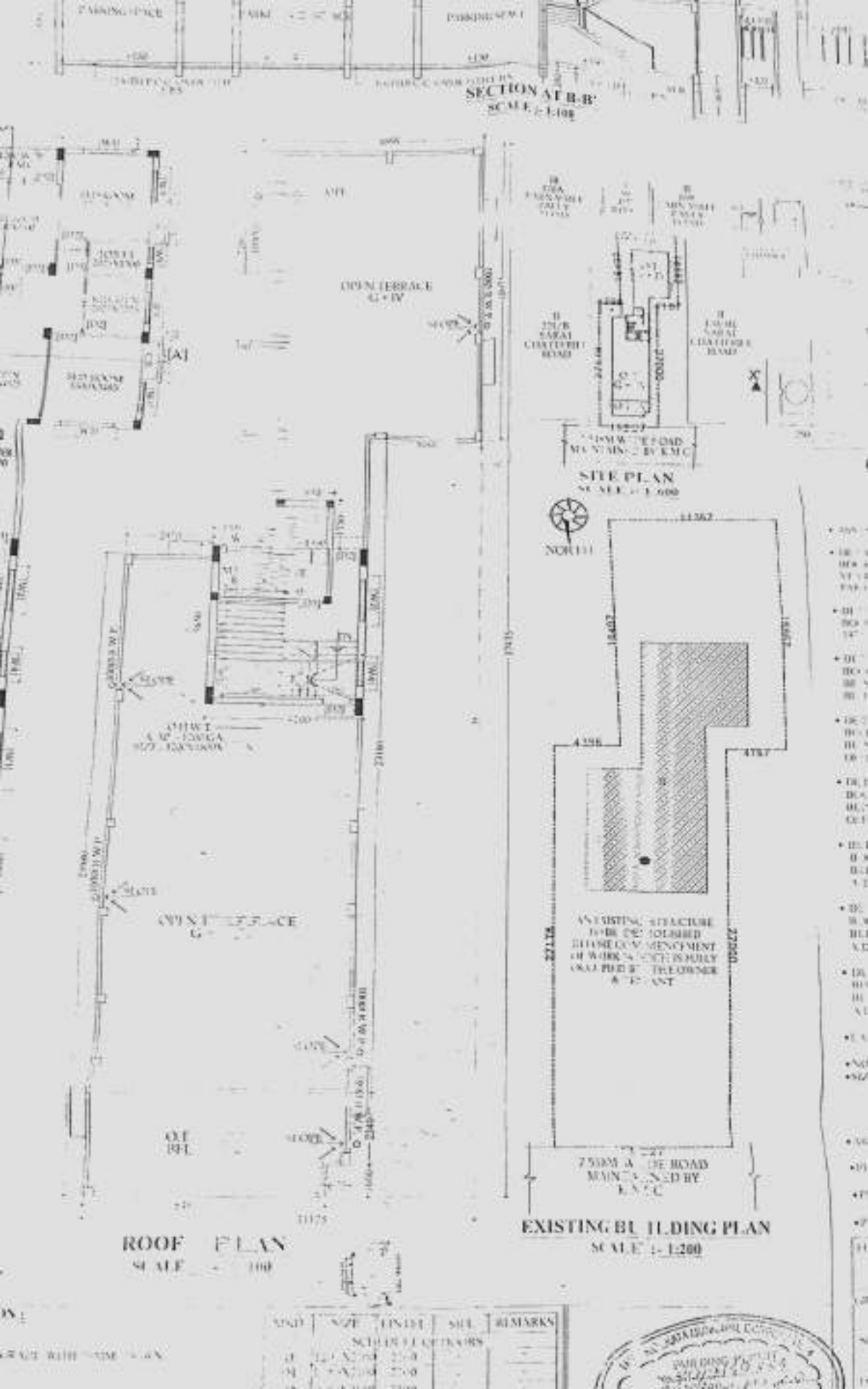
INVESTIGATED HAS VISITED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE BEARING CAPACITY OF THE SOIL IS AS UNDER THE FOLLOWING CONDITIONS: FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION DESIGN PROVIDED HEREON. ALL DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE.

OWNER DECLARATION:

I / WE HAVE EMPLOYED A REGISTERED ARCHITECTURAL ENGINEER & A REGISTERED CIVIL ENGINEER TO DESIGN THE BUILDING AND TO SUPERVISE THE CONSTRUCTION OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED ELECTRICAL ENGINEER TO DESIGN THE ELECTRICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED MECHANICAL ENGINEER TO DESIGN THE MECHANICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED CHEMIST TO DESIGN THE CHEMICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED SURVEYOR TO DESIGN THE SURVEYING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED PLUMBER TO DESIGN THE PLUMBING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED PAINTER TO DESIGN THE PAINTING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED CARPENTER TO DESIGN THE CARPENTRY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED JOINER TO DESIGN THE JOINERY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED MILLER TO DESIGN THE MILLING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED BLACKSMITH TO DESIGN THE BLACKSMITHING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED WELDER TO DESIGN THE WELDING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED FOUNDRYMAN TO DESIGN THE FOUNDRY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TANNER TO DESIGN THE TANNING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED DYEING AND FINISHING ENGINEER TO DESIGN THE DYEING AND FINISHING SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TEXTILE ENGINEER TO DESIGN THE TEXTILE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED LEATHER ENGINEER TO DESIGN THE LEATHER SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED JEWELLER TO DESIGN THE JEWELLERY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED OPTICIAN TO DESIGN THE OPTICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED SURGEON TO DESIGN THE SURGICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED DENTIST TO DESIGN THE DENTAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED VETERINARIAN TO DESIGN THE VETERINARY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED PHARMACEUTICAL ENGINEER TO DESIGN THE PHARMACEUTICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED CHEMIST TO DESIGN THE CHEMICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED PHYSICIAN TO DESIGN THE PHYSICAL SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED MATHS ENGINEER TO DESIGN THE MATHEMATICS SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED SCIENCE ENGINEER TO DESIGN THE SCIENCE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED HISTORY ENGINEER TO DESIGN THE HISTORY SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED LITERATURE ENGINEER TO DESIGN THE LITERATURE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED ARTS ENGINEER TO DESIGN THE ARTS SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED MUSIC ENGINEER TO DESIGN THE MUSIC SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED DANCE ENGINEER TO DESIGN THE DANCE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED THEATRE ENGINEER TO DESIGN THE THEATRE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED FILM ENGINEER TO DESIGN THE FILM SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEVISION ENGINEER TO DESIGN THE TELEVISION SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED RADIO ENGINEER TO DESIGN THE RADIO SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEPHONE ENGINEER TO DESIGN THE TELEPHONE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEGRAPH ENGINEER TO DESIGN THE TELEGRAPH SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELETYPE ENGINEER TO DESIGN THE TELETYPE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEVISION ENGINEER TO DESIGN THE TELEVISION SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED RADIO ENGINEER TO DESIGN THE RADIO SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEPHONE ENGINEER TO DESIGN THE TELEPHONE SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELEGRAPH ENGINEER TO DESIGN THE TELEGRAPH SYSTEM OF THE BUILDING. I / WE HAVE EMPLOYED A REGISTERED TELETYPE ENGINEER TO DESIGN THE TELETYPE SYSTEM OF THE BUILDING.

SPECIFICATION:

1. ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 2. ALL STEEL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 3. ALL PAINTS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 4. ALL CARPENTRY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 5. ALL JOINERY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 6. ALL MILLING WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 7. ALL BLACKSMITHING WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 8. ALL WELDING WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 9. ALL FOUNDRY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 10. ALL TANNING WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 11. ALL DYEING AND FINISHING WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 12. ALL TEXTILE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 13. ALL LEATHER WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 14. ALL JEWELLERY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 15. ALL OPTICAL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 16. ALL SURGICAL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 17. ALL DENTAL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 18. ALL VETERINARY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 19. ALL PHARMACEUTICAL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 20. ALL PHYSICAL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 21. ALL MATHEMATICS WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 22. ALL SCIENCE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 23. ALL HISTORY WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 24. ALL LITERATURE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 25. ALL ARTS WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 26. ALL MUSIC WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 27. ALL DANCE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 28. ALL THEATRE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 29. ALL FILM WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 30. ALL TELEVISION WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 31. ALL RADIO WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 32. ALL TELEPHONE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 33. ALL TELEGRAPH WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA. 34. ALL TELETYPE WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE BUREAU OF STANDARDS, INDIA.



SECTION AT B-B
SCALE 1:100

ROOF PLAN
SCALE 1:100

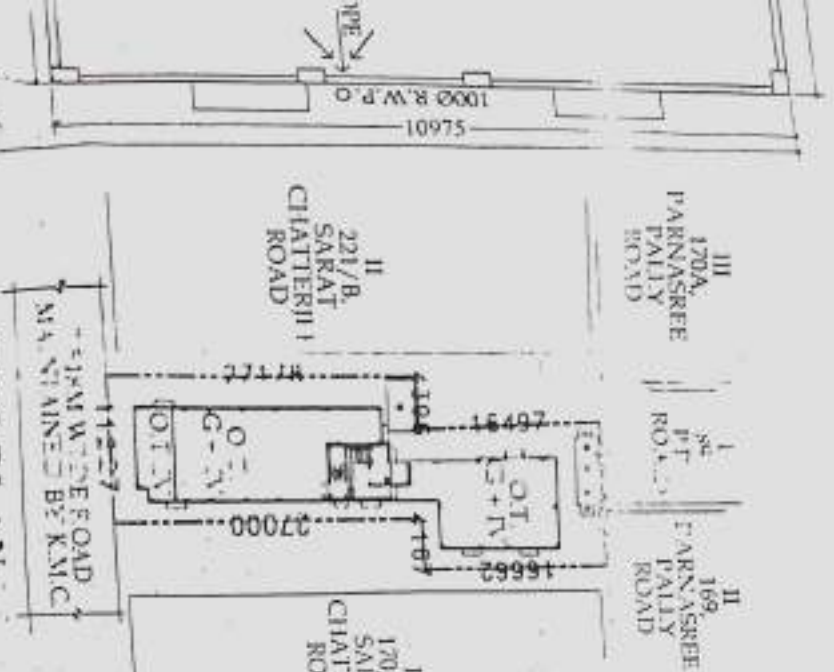
SITE PLAN
SCALE 1:1000

EXISTING BUILDING PLAN
SCALE 1:1200

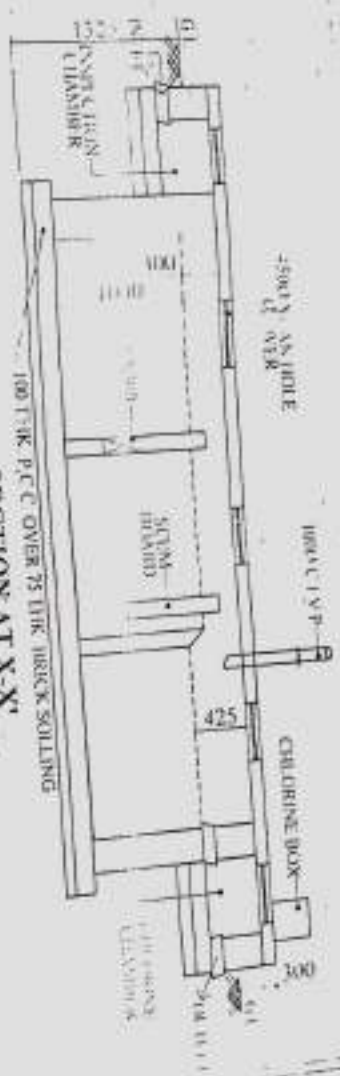
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1	12.0	mm	
2	12.0	mm	
3	12.0	mm	
4	12.0	mm	



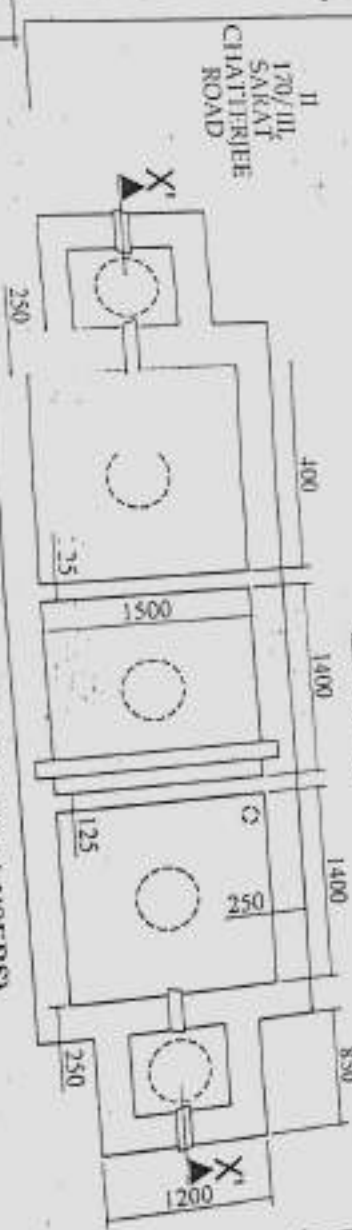
OVER 25TH F.B.S
 SECTION AT B-B'
 SCALE :- 1:100



SITE PLAN
 SCALE :- 1:600



SECTION AT X-X'
 SCALE :- 1:50



PLAN OF SEPTIC TANK (50 USERS)
 SCALE :- 1:50

STATEMENT OF PLAN PROPOSAL

PART - A:

- ASSESSEE NO. :- 411311701180.
- DETAIL S.O. FILED :-
- BOOK NO. - 1, VOLUME NO. - 63, PAGES - 1 to 12, BEING NO. - 3671.
- YEAR - 1985, DATED - 15.3.1985. OFFICE - D.S.R. ALIPORE, SOUTH 24.

Handwritten mark at top left.

PARTY'S COPY

RESIDENTIAL BUILDING

DEVIATION WOULD NEAR DEMOLITION

*CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING AS REQUIRED U/S 496(1) & (2) OF CMC ACT 1980, IN SUCH MANNER SO THAT ALL WATER COLLECTIONS PARTICULARLY LIFE WELLS, VATS, BASEMENT SURING SITES OPEN RECEPTACLES ETO AS EMPITED COMPLETELY TWICE & WEAR

No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted at the P. W. & S. Executive Engineer's Office and the sanction obtained before proceeding with the drainage work.

Before starting any Construction the site must conform with plans sanctioned and all the conditions as proposed in the plan should be fulfilled. The validity of the written permission to execute the work is subject to the above conditions.

A suitable pump has to be provided for pumping unfiltered water for the distribution to the flushing cisterns and urinals in the building incase unfiltered water from street main is not available.

Plan for Water Supply should be submitted at the Office of the Executive Engineer Water Supply and the sanction obtained before proceeding with the work of Water Supply any deviation may lead to disconnection/demolition.

CONSTRUCTION SITE SHALL BE MAINTAINED FREE FROM AIR POLLUTION, ACCORDING TO UNDERSTANDINGS SUBMITTED AS PER AGREEMENT DTD 31/01/2019. DE NO. 35/M/DC-4 BRANCH OF ECHD, LE IV OF RMC F. AND NO. RULE 2009.

Non Commencement of Erection/ Re-Erection within Five year will Require Fresh Application for Sanction

All Building Materials to necessary & construction should conform's to standarder specified in the National Building Code of India.

Design of all Structural Members including that of the foundation should conform to Standards specified in the National Building Code of India.

CHECKED AND VERIFIED
U. Parameswar
A.E. (CYS.A.E.I.C)

Fresh Plan
2019/2020
BUILDING DEPARTMENT
19 FEB 2020
THE KOVILKOTTA CORPORATION

Necessity
for the safety
of adjoining
properties

Precautions should be taken
to ensure the lives of the
public and private
during construction.

Structural plan and design
of structural engineer
No. 20197403
of the Kolkata Municipal
deviation from the sub
at the time of erection
along with design data
prescribed from, necessary
safety of the adjoining
and safety of human life

calculation as submitted by the
have been kept with B. P.
No. 54 Date 20/02/20 for record
without verification No.
structural plan should be made
of the existing structural plan
and stability certificate to the
safety should be taken for the
public and private properties
during construction.

[Signature]
Asst. Engineer/Technical
BOROUGH

[Signature]
Advisor / Executive Engineer
D. - XIII, XIV